

PIET-SE-PAD

ECO - MOUNTAIN – URBAN CONSERVATION
DEVELOPMENT

EXTENSION 8 - MONTAGU - WESTERN CAPE PROVINCE

ARCHITECTURAL DESIGN MANUAL

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1. INTRODUCTION

The “Piet-se-Pad” Eco-Mountain Urban Conservation Development comprises 65 full title residential erven on a 13ha site. This residential development is located in the picturesque village of Montagu in the Western Cape “Klein Karoo”. More particularly, the estate is located in the historical suburb of Montagu-West, between the smallholdings and cottages along Berg Street and the proclaimed Montagu Mountain Reserve.

Given its unique location, Piet-se-Pad is to be developed on the basis of sound environmental principles and architectural guidelines. The purpose of this manual is therefore threefold; to help ensure that the development occurs with the least possible impact on the natural environment, the adjoining mountain reserve and the existing aesthetics of Montagu; to serve as an informative manual to owners and their architects and designers of the building, landscaping and land-use requirements for the development; and to provide information relating to the procedure to be followed in order to obtain the necessary approval from the local authority (Langeberg Municipality) for all buildings, structures and landscaping to be erected on each erf and any alterations and additions thereto.

By investing in Piet-se-Pad, property owners make a lifestyle choice. This should include an appreciation for the natural environment, an appreciation for a common architectural / landscaping vision and an appreciation for cooperation when working with the Langeberg Municipality and the Montagu Aesthetics Committee during the design and construction period.

It is the intent of this design manual to allow for a fairly broad range of personal choice in the external appearance of the houses, yet ensuring that the overall character of the development is identifiable by the use of certain unifying external elements such as; the colour and texture of external wall finishes, roof coverings and importantly a standardised form of boundary and site walling and the preservation of the natural mountain flora and fauna.

2. PIET-SE-PAD: AN URBAN CONSERVATION AREA

In order to achieve the overall aims and objectives of the development, as well as to secure long-term value, Piet-se-Pad has been declared an “Urban Conservation Area” in terms of the Montagu Zoning Scheme Regulations. In addition to the broad land-use conditions set out in the Zoning Scheme, development in Piet-se-Pad must subscribe to the “Guidelines for Development / Control in the Conservation Area” as set out in Annexure A of the Montagu Zoning Scheme Regulations, as amended. In the spirit of conservation, there are also a number of specific land-use guidelines drawn up for Piet-se-Pad which are included in Section 25 below.

3 DESIGN CONCEPT

The vision for “Piet-se-Pad” is to create a secure and peaceful mountain village comprising 65 houses, situated in a high quality, naturally landscaped mountain reserve environment.

“Piet-se-Pad”, sited on the foothills of “Cogmanskloof” in Montagu West, provides a unique location, where the rising slopes offer vistas to the valley and the town of Montagu below, with the Mountain Reserve ridges above. The surrounding area forms a natural breeding ground for a rich variety of animals and offers an abundance of unique indigenous vegetation.

Development of “Piet-se-Pad” is to be undertaken in a holistic manner, whereby land-use, architecture and landscaping work closely together to result in a development that is sympathetic to the natural environment and in keeping with the existing built form.

To this end, dwellings should be contextually sympathetic to the topography and natural hues of the environment. The resulting architecture should be one in which “Karoo Vernacular” type buildings of modest scale “grow” out of the site. It is expected that architectural concepts be developed with sympathy to the environment and that the introduction of “foreign” styles“ such as Tuscan/Georgian/Victorian” etc. not be allowed.

Buildings should be seen as a series of forms, whereby each form’s siting, height and scale will respond and adjust to the mountain topography. Large scale cut and fill is seen as very unsympathetic and is strongly discouraged.

The intention is to develop a unique cohesive architectural character, as an appropriate response to the sensitive environment, evocative of “Karoo Vernacular” type architecture. This will be promoted by the use of natural stone, timber and other specific building materials that will be common throughout the development.

Earthy and natural tones will allow buildings to merge with the landscape, and together with natural stone retaining walls, create a development that compliments the environment rather than contrasting with it.

4. BUILDING PLAN APPROVAL PROCESS

It is recorded that the local authority has approved the contents, terms and conditions of this manual. No amendments to, or departures from, this manual will be allowed without written consent from a duly authorised representative from the local authority.

- 4.1 The owner must obtain, prior to the submission of the design concept and sketch plans, a list of the requirements relating to the details to be provided for the plan approval process and also obtain all documentation including erf diagrams, services connections diagrams and contour plans that may be required in order to facilitate the design process. The minimum submission requirements are listed under paragraph 4.5 below.
- 4.2 It will be the responsibility of the owner to ensure that he or she is in possession of the current version of the design manual.
- 4.3 The approval process will involve the following stages.
 - 4.3.1 First Stage
 - A design concept and sketch plans approval must be obtained from the local authority. (Langeberg Municipality / Aesthetics Committee)
 - A scrutiny fee will be payable when the plans are submitted.
 - 4.3.2 Second Stage
 - After the design concept and sketch plan approval has been obtained, detailed design and working drawings must be submitted to the local authority (Langeberg Municipality / Aesthetics Committee) for approval.
 - Certain prescribed fees will be payable at that stage.
 - Should the requirements of the local authority or any other statutory authority or the National Building Regulations conflict with this design manual then such other requirements will prevail.
- 4.4 Application for rezoning, consent use or departures of conditions outlined in this design manual.
 - Applications for rezoning, consent use or departures of conditions are discouraged.

- Applications for rezoning consent use or departures of conditions must be applied for in writing in Stage 1 of the approval processes.
- Consent for rezoning, consent use or departures of conditions must be obtained in writing from all affected parties.
- Final approval of rezoning, consent use or departures of conditions will be granted by the local authority (Langeberg Municipality / Aesthetics Committee) and only under special circumstances.

4.5 Building plan submission – required information:

The following information must be indicated on the plans being submitted for scrutiny at both sketch design and verified at working drawing stage.

- Contour base plan with contours at 500mm intervals indicated
- Permissible coverage and actual coverage as a percentage and in terms of square meters.
- North sign
- Roof Plan
- Floor plan(s)
- Sections & Elevations
- Position of driveway and hard landscaping finishes
- Landscape plan, to include plant species.
- Building line setbacks
- Drainage plan
- Location of all retaining structures and finishes
- Schedule of external finishes
- Position of external lighting this should include full specification of all light fittings used.
- “Braai” plan location & elevations

5 BUILDING PROCESS

- 5.1 The owner must obtain from the local authority (Langeberg Municipality / Aesthetics Committee) a list of the requirements relating to the building process.
- 5.2 The local authority (Langeberg Municipality / Aesthetics Committee) will be entitled to regulate the activities of all building and other contractors and determine that the contractor(s) and the owner enter into an environmental contract with the local authority (Langeberg Municipality / Aesthetics Committee) for this purpose.
- 5.3 No building work shall commence until all the relevant requirements have been complied with.

6 BUILDING ENVELOPE

6.1 Coverage

Coverage refers to all buildings including main dwellings, garages outbuildings, verandas and balconies.

- Maximum coverage of 400 m² is allowed for Erven > 1000 m²
- Maximum coverage of 300 m² is allowed for Erven ≤ 1000 m²
- No double storeys will be allowed, however allowances will be made for additional accommodation on a mezzanine level/lofts within the roof space.
- The minimum house size that will be allowed is 100 m² exclusive of garages and outbuildings.

6.2 Building lines

Note: Building services servitudes will override building lines.

In general the building lines are to conform to the following restrictions:

- | | | | |
|-------|--|---|-------|
| 6.2.1 | Street Boundary | | |
| | i. Main Building | - | 5,0 m |
| | ii. Garages / Out buildings | - | 5,0 m |
| | iii. Swimming pools | - | 3,0 m |
| 6.2.2 | Back Boundary | - | |
| | 3,0 m | | |
| 6.2.3 | Side / Common Boundary: | | |
| | i. For erven smaller or equal to 1000 m ² | - | 2,0 m |

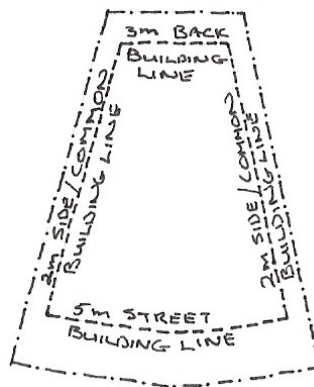


Fig.1 Erven smaller or equal to 1000m²

- ii. For erven larger than 1000m²: - a line connecting 1/6th of the distance of the back boundary with 1/6th of the distance of the street boundary.

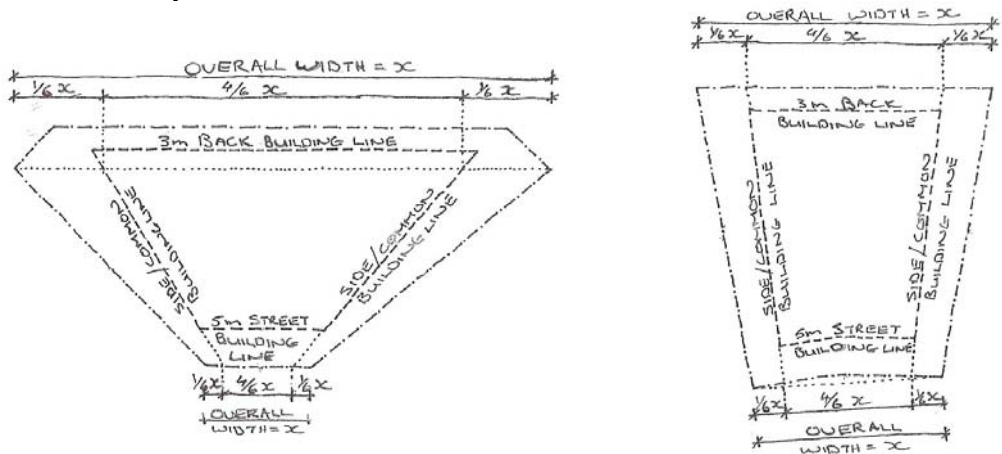


Fig.2 Erven larger than 1000m²

- iii. 1.5m for a "braai", swimming pool or pergola.
 iv. 1.5m for garages or outbuildings up to 10m along the length of one side boundary provided that the height of the building measured externally in no more than 3,5m from the highest point to the natural ground level directly below it,

7 BUILT FORM

Careful consideration shall be given to the scale, proportion and articulation of building forms, as these, together with the use of stonework, openings in walls etc. are very important to create a cohesive architectural character.

The nature of the majority of the sites at “Piet se Pad” is one of a steep gradient and it is therefore imperative that the site topography be taken into account. Buildings should fit comfortably into the natural contours and orientation of the site. Buildings should preferably be stepped / terraced over the site. To this end the house should remain predominantly single story or be split-level.

The architecture should be seen as a series of major plan form elements connected by minor plan form elements rather than a monolithic sculptured architecture.

7.1 Plan Shapes

7.1.1 A single rectangular build form or composite rectangular forms is required.

7.1.2 Plan forms are to be composed of a single or series of rectangular major plan forms which are connected to one another and are articulated with minor plan elements.

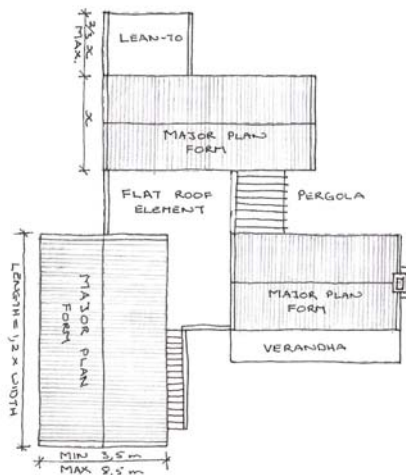


Fig.3 Major and minor plan forms

- Major plan forms.
 - i. These must have pitched roofs, are limited to 3,5m minimum width and 8,5m maximum width. The length of these forms should be at least 1,2 times that of its width.
 - ii. Major plan elements should respond to the natural topography of the site and level changes are encouraged on sloping sites.
 - iii. It is recommended that all houses be articulated with at least one chimney.
- Minor plan forms.
 - i. These will consist of the following:
 - Verandas / Lean-to structures
 - Pergolas
 - Chimneys and stair cases
 - Flat roofs (concrete)
 - ii. Veranda / Lean-to's width will be limited to two thirds the width of the major plan form that it is connected to, its length is limited to the length of the major plan form it is connected to.
 - iii. Flat roof elements may be used as linking elements between major plan forms and need not be rectilinear.

7.2 Height restrictions

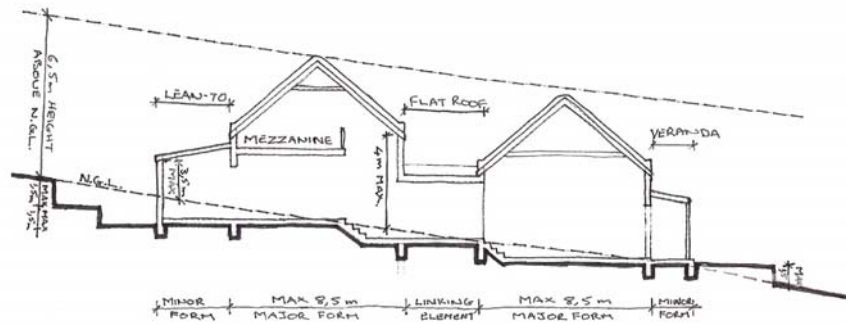


Fig.4 Height restrictions

7.2.1 Maximum Height restriction:

- i. No portion of the building will be higher than 6,5m above N.G.L. measured vertically below it. Note: Natural Ground Level (N.G.L.) is considered as the levels documented on existing contour survey levels.
- ii. Chimneys are exempt from this restriction.

7.2.2 Maximum Wall Heights:

- i. No vertical face of a solid wall, be it stone, plaster or glass, will be higher than 4,0m measured externally from the N.G.L. vertically below.
- ii. Gable end walls are exempt from the above. The height restriction of gable end walls is governed by the overall height restriction of 6,5m.
- iii. The maximum height of a lean-to structural element will be 3,5m above N.G.L. measured vertically below.
- iv. The minimum wall plate height for a single storey portion of a building will be 2.4m
- v. The ground floor finished floor level will preferably not rise higher than 1,5m above or below the N.G.L. measured vertically below.
- vi. Verandha/stoep finished floor level may not rise higher than 1,5m above or below the natural ground level measured vertically below.

7.2.3 Mezzanine / Loft Levels:

- i. Mezzanine / loft will be defined as any first floor above ground floor.
- ii. Only 30% of the footprint of the building may be allocated to mezzanine/loft levels. (Note: 30% of the footprint refers to habitual space as defined in the National Building Regulations)

7.3 Wall Construction & Finish

7.3.1 All external walls to be at least 230mm masonry walls, where masonry walling is used.

7.3.2 It is recommended that a rising wall plinth articulation, preferably clad in natural stone, be used to create building platforms.

7.3.3 No quoining will be allowed.

7.3.4 Window surround detailing should be simple in design. No ornate plaster mouldings will be allowed.

7.3.5 Specific Wall Materials:

- i. Natural stone to match existing stone in the area.
 - Stone work should be preferably “rubble Stone”
 - Pointing should be recessed.
 - And preferably be coursed at +/- every 400mm

- ii. It is recommended that the following elements be stone or clad in stone
 - Retaining walls
 - Boundary walls
 - Rising wall plinth articulation
- iii. Plastered wall finish should preferably be
 - Smooth plaster
 - Indiscriminate scratch texture
 - Rustic (unsmoothed) plaster
- iv. Detail plaster should be smooth plasterer.

7.3.6 Materials not allowed:

- i. Face brick
- ii. Sheet metal products
- iii. Clapboarding - timber or other
- iv. Tiling, other than natural stone cladding products that match stone in the area

7.3.7 Wall Colours:

- i. Wall colours should be muted earth tones to allow buildings to blend with the natural environment.
- ii. No white or “unnatural” colours will be permitted that would make the building starkly contrast the natural colours of the environment.
- iii. All external walls on the erf may only be painted one primary colour. A second colour may be introduced, but only to enhance detailing.
- iv. No form of “paint technique” or other form of decorative painting will be allowed, with the exception of natural textured paint products like “Midas Earthcote” or similar approved.
- v. 1m² colour samples of the intended external colour(s) must be presented to the local authority (Langeberg Municipality / Aesthetics Committee) for approval prior to painting.

8 ROOFS

It is encouraged that major plan forms are roofed individually; this should occur in part due to the different levels major plan forms will take due to the topography of each site. Major plan forms may be connected with linking elements eg. flat roof areas with parapet walls

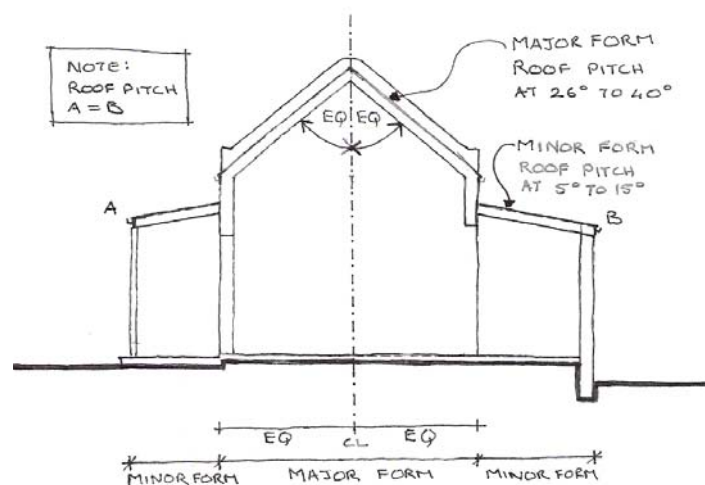


Fig.5 Roof Pitch

8.1 Roof Forms

8.1.1 Double pitched roofs

- Double pitched roofs should be used over major plan elements with a pitch between 26° and 40°
- The ridge must fall in the centreline of the major plan form and the roof must be symmetrical around the ridge.
- Major plan form roof elements may extend to cover terraces.

8.1.2 Lean-to / Veranda Roofs

- will be connected to major plan forms
- and have a pitch between 5° and 15°
- all lean-to/verandah roofs must have the same pitch.

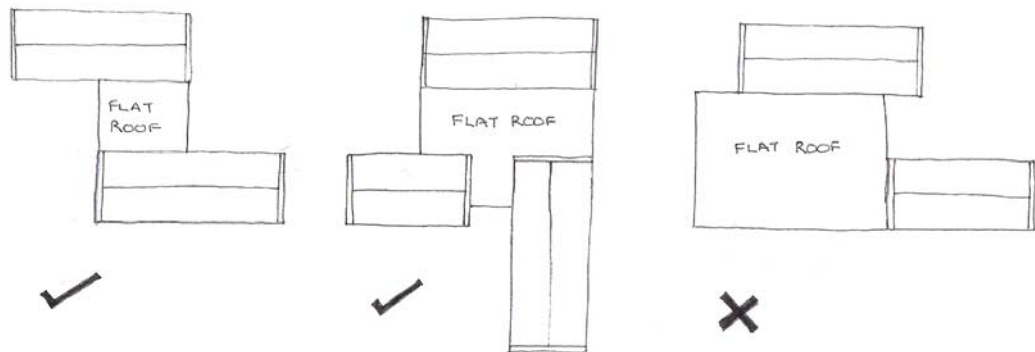


Fig.6 Flat roofs

8.1.3 Flat roofs / concrete

- may be used to connect a series of major plan forms,
- must be utilised between a least 2 major plan forms,
- must not project beyond the line of the major plan forms
- may be used as roof decks/gardens, however these may not address neighbouring residential properties if closer than 6m from the common boundary
- Screening must be used to prevent possible overlooking at areas closer to 6m from neighbouring residential sites.
- No more than 25% of the total footprint of the house may have flat roof elements.

8.1.4 Garage Roof

- May form part of the major plan form and the garage roof will be part of the main building's roof
- Free standing or semi-detached garages should be roofed with the same roof element as the major plan form.
- Under certain conditions it will be allowed that habitable space may be created on top of garages, provided that all architectural restrictions are adhered to.

8.2 Roof Material and Colour

8.2.1 Pitched roofs may have the following coverings:

- pre-painted corrugated roof sheeting – colour “Dark Dolphin or Charcoal Grey” (or similar approved)
- Natural slate tiles – (Mazista “Sunset” or “Silver Blue” slate tiles or similar approved)
- Everite Roof Slate – or similar approved, painted Charcoal.
- Thatch or similar approved.

8.2.2 Flat roofs:

- Flat roofs used as decks should be covered with either natural stone tiles, unglazed terracotta tiles, timber decking or similar approved.
- Flat roofs, not used as decks should be covered with washed stone or similar approved (eg. peach pips) gravel at least 50mm thick in order to create a natural finish

8.3 Roof Windows

8.3.1 No dormer windows will be allowed with the exception of a singular dormer styled loft access door per major plan form.

8.3.2 “Velux” or similar approved roof windows may be used in the plane of the roof. The maximum size for these windows is 780mmx1400mm.

8.3.3 No pyramid styled roof-lights will be permitted,

9. GABLES, EAVES, PARAPETS AND GUTTERS

9.1 Gable End Walls

Gables used on major plan forms:

- must be simple in design.
- gable ends with parapets, must preferably have a flattened or rounded point, no decorative gables will be accepted
- can only be used on the shorter side of the major plan forms
- no hipped roofs will be allowed.

9.2 Eaves

- Eaves should be “flush” with the walls – fascia and gutter projections only
- Verandahs or pergolas should be use for sun screening.

9.3 Parapets

- Parapet walls may not project more than 300mm above the finished roof level.
- Parapet walls should be finished with a flat smooth plastered coping 100mm high, projecting 20mm from the vertical face of the wall.
- Stone walls should be finished with either a natural stone cutting or a flat smooth plastered coping 100mm high, projecting 20mm from the vertical face of the wall.
- All parapet walls should be weathered towards the roof.

9.4 Gutters

- Gutters will be optional, but where gutters are used, simple pre-painted watertight type gutters will be utilized.
- Gutters to match roof colour.

10 CHIMNEYS

10.1 Chimneys are restricted to “Karoo vernacular” in character and must project at least 1m above the ridgeline of the major plan form roof.

10.2 Chimneys can either be fully clad in natural stone or plastered and painted to the same specification as the walls.

10.3 Internal jet master flues must have a masonry surround to match prescribed chimney.

10.4 No metal coals will be allowed, traditional masonry arch detailing is preferred.

11 WINDOWS

Windows may be square and vertical in proportion. Horizontally proportioned windows will only be allowed as minor window types. Large pane panels are preferred to cottage pane.

11.1 Window Types

- i. The following window types will be allowed:
 - Vertical sliding
 - Horizontal sliding
 - Top hung casement
 - Side hung casement
- ii. The following will not be allowed:
 - External burglar bars
 - "Windblock" type concrete window frames
 - Steel windows
 - Cloth or aluminium awnings or similar shading devices.

11.2 Window Finishes

Windows should be made from either:

- Timber - Colour to be clear natural, stained or painted (charcoal)
- Aluminium - Powder coated (Siemens grey or Gold Bronze)

11.3 Clearstorey Window

The use of this element is not excluded, but is strongly discouraged, the use of small high-level windows at regular intervals is preferable.

12 DOORS

Doors may be square, vertical and horizontal in proportion. Doors within these openings should have a vertical proportion. Large pane panels are preferred to cottage pane.

12.1 External Doors may be

- Solid double panelled timber
- Vertical or horizontal boarding
- Timber or aluminium framed glass doors

The following will not be allowed:

- "Trellidor" or other metal security doors, will not be allowed externally
- Steel framed glass doors.

12.2 Door Finishes

Doors should be made of:

- Timber - Colour to be clear natural, stained or painted (charcoal)
- Aluminium - Powder coated (Siemens grey or Gold Bronze)
- Colours should be the same as the windows

12.3 Garage Doors

- Barn style sliding or hinged garage doors are preferred.
- The maximum number of garage doors facing the street will be two single garage doors separated by masonry piers. If more than two garage doors are required to face the street, these must be accommodated in separate plan building elements.
- Garage doors may be single (2440mm) openings or double (4880mm) openings.
- Natural timber garage doors will be encouraged, otherwise if painted, garage doors must match the colour of the window and door colours used.

13 SHUTTERS

13.1 The use of functional shutters, fixed or adjustable is encouraged.

13.2 The colour of the shutters will match the colour of the doors and windows of the house, or be natural clear timber finish.

14 VERANDAHS AND PERGOLAS

14.1 General specification

- Minimum size of pergola rafter must be 150mmx50mm
- No Victorian cast-iron post, "Broekie Lace" or other decorative detail will be permitted.
- Pergolas may be covered with shade cloth – colour Black
- No IBR profiles will be permitted to cover verandas – Victorian profile only.

14.2 Support Types

- Natural stone piers, minimum 350mmx350mm
- Plastered masonry piers, colour to match the colour of the house.
- Double or single timber or steel posts. No top bracing allowed. Minimum size of posts to be 100mmx100mm.
- A combination of either a stone or masonry base with a single or double steel or timber post may be used.

14.3 Finishes and Colour

- Veranda and pergola posts may be finished with the following:
- Natural timber clear finish, if painted colour to match doors and windows
- Masonry to be painted to match the external wall colours
- Steel painted to match colour of doors and windows.

15 RETAINING STRUCTURES

15.1 General

It is imperative that the existing topography be carefully considered when planning the siting of the building(s), terraces and gardens. To this end low retaining structures are to be used which are sympathetic to the natural contours of the site, provided that such retaining structures may not be higher than 1,5m.

Retaining structures may be one or a combination of the following:

- Stone retaining walls dry packed stone or dry pack stone lining.
- Unpainted hardwood timber sleeper retaining structures
- Stepped retaining walls may be used, such consecutive retaining walls will be set apart at least 1,0m in plan. (subject to individual site topography)

- The natural ground level of the adjacent site must be reinstated.

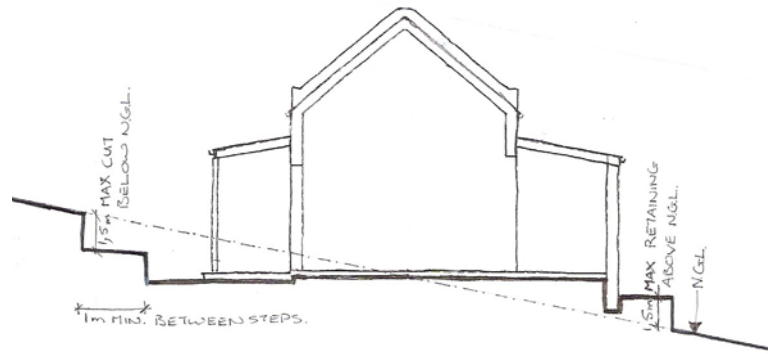


Fig.6 Retaining walls

15.2 Retaining structures on the site boundary walls.

Where a sloping site dictates the reinstating of the natural ground level of an adjacent site by means of a retaining structure, a retaining wall up to ground level may be used on the boundary. Above this the boundary wall may be built.

16 LARGE EXCAVATIONS

16.1 General

Large scale excavations are seen as unsympathetic to the natural environment, and will be strongly discouraged. Due to the steep slopes on certain sites, (especially on Waboomsdraai), large scale excavations can not be excluded entirely, and will be assessed on a case by case basis on the following criteria:

- Sensitivity to the natural environment.
- Visibility from neighbouring sites and public areas.

16.2 Basements

Basements are defined as any subterranean accommodation that does not in total extend above natural ground level, equal or smaller than an area calculated as 1m of the perimeter of the proposed basement.

17 BALCONIES AND ROOF TERRACES

Provision has been made for balconies and roof terraces. It should be noted that wall height restrictions still apply.

17.1 General Specifications

- If a balcony or roof terrace is used it is preferable that it does not address an adjacent residential site and positioned in such a way that it addresses either the street or public open space.
- Balcony roofs must be either in character with the main plan form and may be an extension of the main plan form roof.
- Balcony supports follow the specifications of the supports of the verandas and pergolas

17.2 Balustrades and Screen Walls

- Balustrades to balconies / terraces will conform to the National Building Regulations.

- Balustrades should be simple in design and be made of steel, timber or a combination of the two.
- Balustrade colour should be natural timber or painted black to match doors and windows.
- Balconies should be screened at sides to prevent overlooking features. This may be done by the use of timber lattice or screens with a maximum height of 1,8m above finished floor level of the balcony.

17.3 Floor finishes

Floor finishes to balconies must be muted natural tones.

18 BOUNDARY/ SITE WALLS AND FENCES

18.1 General

- The intention is to minimise the impact of boundary walls, and thereby create a more rural setting as apposed to the traditional urban one.
- It is encouraged that site walls are used to create courtyards rather than to define the perimeter of the site.
- Boundary walls and fences should form a cohesive part of the build form. They should be seen as an extension of the buildings on each site and must return to the building.

18.2 Street Boundary Walls

- A 600 mm high (maximum) Natural stonewalls may be constructed on the street boundary.
- To create more security a simple black metal palisade fence up to 1,5m high (total maximum wall and fence height) may be erected on top of this wall.
- For more privacy, a hedge of max.1,8m high may be grown behind the street boundary wall for a maximum of 50% of the total street boundary.

18.3 Side / Common and Back Boundary Wall

- A natural stone Boundary wall of 1,2m high (maximum) may be erected on the side and back boundaries
- To create more security a simple black metal palisade fence, to create a total overall height of 1,8m high, may be erected on top of this wall. (Note; Perimeter alarm beams are preferable to provide for the necessary security).
- Masonry walls must be set back a minimum of 2 meters from the site boundary and must return to the building or when projection past the building form articulated with a pier.
- On sloping sites the boundary wall will follow the natural ground contours.

18.4 Piers

The use of piers is discouraged. Wall width should allow for structural integrity of the boundary walls

18.5 Gates in Boundary Walls

Pedestrian and vehicular gates will be constructed from either:

- Solid Timber natural or painted
- Powder coated/painted metal – vertical rails – Colour Black

Note: No pedestrian access gates will be allowed from individual sites into the mountain reserve.

19 SWIMMING POOLS

19.1 Enclosures

Swimming pool fences/ gates to comply with National Building Regulations and with Section 18 Boundary walls and fences.

19.2 Drainage

Swimming pool water to be pumped into the common storm water system.

NOTE: Swimming pool water may never to be drained directly into the landscape.

19.3 Pool Decks

Pool decks in natural timber or stone will be allowed. Pool decks may not be higher than 1,5m above the Natural Ground Level.

19.4 Swimming Pool Pump

Pool filtration systems and pumps must be screened with either a natural stone or masonry wall to match the walls of the main house.

20 CONSERVATORIES

Conservatories with glazed roof panels will be allowed if they are surrounded by major plan forms on at least two sides. Mullions must match window frames of house.

21 PARKING, DRIVEWAY AND CARPORTS

21.1 Parking

- Each erf must provide off-street parking for at least 2 cars in addition to garaging.
- Sites with very steep slopes, (especially Waboomsdraai) would be excluded from the above.
- The surfacing material for parking areas may be aggregate exposed concrete or brick / cobbled paving.

21.2 Driveways

- Driveways will be a maximum of 6m wide at the road reserve.
- Where a driveway of width more than 6m is required, the driveway surface area must be split by a planting strip of at least 1m
- The surfacing material or driveways may be aggregate exposed concrete or brick / corbelled paving.

21.3 Carports

- Single or double carports will be permitted and will be either fully detached or attached to a garage
- Carports may not be attached to the main building.
- Carports will match the roof of the garage and main house.
- The supports of the carport will follow the same specifications as for verandahs/ pergolas

22 OUTBUILDINGS

Provisions for outbuildings have been made. The footprint for the outbuildings will be counted in the maximum allowable coverage. Outbuildings will be subjected to the same criteria as the main buildings.

23 SERVICES

23.1 Satellite Dishes, TV Aerials and other Aerials

18.1.1 Satellite dishes and TV aerials are allowed but must be kept inconspicuous.

18.1.2 No other aerials will be allowed.

18.1.3 Colours must be in keeping with the materials and elements it is attached to.

23.2 Service Pipe

Sewer and vent pipes are to be concealed in vertical ducting within the wall plane of the building.

23.3 Air-Conditioning

Air conditioning condenser units are to be installed in such a manner as to not be visible from the road or any other public area.

23.4 House Numbers and Signage

- House numbers are restricted to being black, brass or silver, with an overall size of 0,16m²
- Any additional signage should be applied for in righting and may not be greater than 0,3m²

23.5 Clothes Lines and Bin Stores.

Cloth lines and refuse bins must be screened by a 1,8m high wall or concealed within a service courtyard. Screen walls to be constructed of either natural stone or plastered masonry to match main house structure.

23.6 Rainwater Tanks

Collection of rainwater in rainwater tanks will be permitted, the type, size and siting of all rainwater tanks will be subject to scrutiny by the Aesthetics committee. In principle, rainwater tanks should form an integral part of the total design of the building or be screened in such a way as to not be visible from the road or any other public vantage point.

23.7 External Lighting

- External lighting should be discreet and kept to a minimum.
- No external pole lighting will be allowed.

- No flood lights will be allowed

23.8 Solar Heating

The use of solar power is encouraged. Only solar panels on the roof with a hidden remote solar tank will be permitted (combined tank and panels on the roof will not be allowed). All solar panel installation must be integrated into the design of the building and are subject to approval by the Aesthetics Committee.

23.9 Wind Mills

Windmills may be used. Positioning of windmills is subject to local authority approval and must be integrated into the overall design of the building.

24 LANDSCAPING

- A minimum of 70% of all the new plants introduced on-site to comprise local indigenous species as per the list of recommended flora attached hereto.
- All trees to be planted must comprise local indigenous species as per the list of recommended flora attached hereto.
- A landscaping plan must be submitted for approval by the local authority.
- A landscaping surety may be required by the local authority.

25 LAND USE / ENVIRONMENTAL CONSERVATION

Given the unique natural setting and the high level of visibility of Piet-se-Pad relative to the balance of the village, the following aims and guidelines relating to land-use and environmental conservation are applicable

25.1 Aims

- To conserve the natural setting of the area and in particular the surrounding mountain sides.
- To conserve the existing natural environment beyond the defined boundary of "Piet-se-Pad"
- To minimise the visual impact on the natural environment by actively encouraging the planting of local indigenous trees and vegetation in private gardens and in the demarcated public open spaces.
- To accommodate the return of the tortoise population to the breeding area by reinstating the identified areas of sandy open space and by limiting public access to this area.
- To encourage a public awareness of the surrounding natural environment by demarcating and maintaining the existing hiking trail into the adjoining Mountain Reserve and by distributing information regarding the environment and the Mountain reserve to the residents on a regular basis.

25.2 Land-Use Guidelines.

These guidelines are additional to those set out at Annexure A of the Montagu Zoning Scheme Regulations and will be applied directly by the Langeberg Municipality:

- Applications for Rezoning and Consent use is discouraged
- No subdivision of existing erven will be permitted.
- In order to prevent environmental degradation, no individual / private access into the Mountain Reserve from individual erven will be permitted – only the existing access points may be used.

- All erven which are to accommodate dogs are required to provide adequate fencing to effectively retain these animals on the property - fencing to conform to the boundary walls / fencing guidelines set out in this manual.
- All building structures are to be placed sensitively on the property – as per the architectural guidelines - to enable maximum retention of existing natural vegetation and to facilitate subsequent planting. The use of a Landscape Architect or similarly qualified professional is encouraged.
- The construction site will be that area defined as the “development footprint”. The “development footprint” to comprise only that area to be physically taken up by the proposed new structures, including the driveway, and a 1.5m-2m wide strip around said structures, as appropriate. The “Development Footprint is to be clearly demarcated / pegged by way of a taped perimeter at commencement of construction. The balance of the site must be protected during the construction period, particularly from vehicles, equipment, building materials and personnel - building contractors to be advised accordingly.
- Building contractors and personnel to be restricted to the construction site only.
- Erven 1292 – 1301 & 1334 – 1336 comprise a particularly rich variety of plant species. Particular attention should be given to the protection of this flora. It is recommended that no construction is to take place on-site until all sensitive species have been identified by a suitably qualified person and, where necessary, transferred to a nursery and replaced on completion of the construction process - building contractors to be advised accordingly .
- Construction on erven comprising steep slopes must include specific steps to mitigate potential ecological and aesthetic impacts - building contractors to be advised accordingly.
- All private gardens, as well as the demarcated public open space to comprise a minimum of 70% local indigenous plants and vegetation and 100% local indigenous trees – as per the approved species list included in this manual.
- An active tree planting and “greening” programme is to be encouraged – on approval of a building plan, the property owner will be required to plant, or arrange to have planted, one indigenous tree and 2 indigenous plants within the demarcated public open space areas or in the demarcated areas within the road reserve.
- It is encouraged that an association comprised of “Piet-se-Pad” residents be established to distribute information to all new owners relating to matters such as the Montagu Mountain Reserve; the tortoise breeding area, the local fauna (particularly snakes, tortoises, buck and baboons), indigenous vegetation as well as procedures in case of fires, the keeping of pets, and snake bites. The Association to work in close consultation with the Langeberg Municipality, the Montagu Aesthetics Committee, Cape Nature, and the Montagu Mountain Reserve Advisory Board.
- The tortoise breeding area is to be formally demarcated and actively protected. The breeding area is to be managed by an Association comprised of “Piet-se-Pad” residents, working in close consultation with the Langeberg Municipality, the Montagu Aesthetics Committee, Cape Nature and the Montagu Mountain Reserve Advisory Board.
- The collection of plants, animals, wood, soil, and stone/s etc. from erven within the “Piet-se-Pad” development area and the surrounding Mountain Reserve is strictly prohibited.